

13SD00716

**City of Glen Cove
Department of Building & Code Enforcement
AJ Maurino Esq.**



TO: MAYOR MARY ANN HOLZKAMP

FROM: AJ MAURINO Esq. BDA *AM*

RE: Landmark District - Highland Road Corridor
Referral to City Landmarks Commission

DATE: March 6, 2002

At your request this office conducted research and analysis to determine the feasibility of designating the Highland Road Corridor as a Heritage District.

Dan Russell prepared a Preliminary Historic Structures Inventory, attached hereto, which include structures worthy of identification, a brief history of each structure and a location map along with a color photo. Photos were taken from the public roadway.

Mr Russell's thorough work reveals a locale worthy of a landmark-type district designation which we have dubbed a "heritage district". The Highland Road corridor could become the first of several locales worthy of such designation, one of many assets adding to the uniqueness of the City of Glen Cove.

However, it is not for the Department of Building & Code Enforcement to designate landmarks or create a heritage district. Rather, the City's Landmarks Commission has jurisdiction with the advise and consent of the City Council. I advised Robert LeBaw, AIA, Chairman of the Commission of your interest in designating the Highland Road Corridor as a district and he is excited about the assignment to the Commission.

Accordingly, I wish to recommend that the enclosed analysis be sent by your office as an official assignment to the Landmarks Commission. The Commission would need to verify Mr. Russell's research and amplify or modify his data where necessary. Also the use of heritage designation plaques could be employed, upon approval of the City Council, for each qualifying property. Grant monies may also be available for this project. Owners of each "landmark" would need to be notified quickly by the

Commission of this assignment so that they may have timely input into the process.

As we discussed it is not my recommendation that the owners of these "heritage houses" lose their respective right to modify the exterior of their homes but rather they would receive the benefit of advice from the Commission to preserve and protect worthy exteriors prior to the issuance of any building permit by this office or exterior redecorating.

I will endeavor to make Mr. Russell available to explain his research to the Commission but I wish to indicate that he is a peace officer and carries a heavy case load of investigations for the City. Mr Terrence McKeen soon to receive his bachelor's degree as an architect who now works for this Department may be able to assist the Commission.

I would like, in closing, to acknowledge the many hours of service performed by Mr. Russell on this project, although the project is not within his job duties.

cc: Dan Russell
Terrence McKeen

Final version: ajm

The Highland Road Corridor

Introduction

Highland Road is located in the City of Glen Cove, Nassau County, New York. The street runs along an east-west axis for a distance of approximately 0.7 miles. It is anchored on the west side in the heart of the School Street commercial district (the downtown shopping area of Glen Cove) and on the east side by the Glen Cove station of the Long Island Rail Road. It is a largely residential neighborhood, intermixed with two religious edifices and with minimal intrusion by commercial property. The street is predominantly located atop a steep hill (at least in regional perception) which is one of the three which form the glen in which "Glen Cove" is located.

Definition of Highland Rd - Town Path - Walnut Road District

The Highland Road Corridor is part of a larger district which is circumscribed by Saint Andrews Lane and Titus Road on the north, School Street on the west, Glen Street, Ravine Street and Pearsall Avenue on the south, and the Long Island Rail Road line and City of Glen Cove/Town of Oyster Bay border on the east. Incorporated into the district are Highland Road, Walnut Road, Oak Lane, Town Path, North Lane, Titus Road, Franklin Avenue, Townsend Road, Edgehill Road, Westgate Court, Townsend Road and Pearsall Avenue, as well as the property that comprises Nassau Country Club. These streets are dominantly residential, and all contain homes of contemporaneous age (circa 1890 to circa 1930) and similar architecture.

Origins of Highland Rd

The origins of Highland Road are directly linked to the rise of Nassau Country Club, one of the oldest and most prestigious golf courses in the United States, in the 1890's. Prior to that date, the region was mostly divided among a handful of farms owned by descendants of prominent colonial-era families of Glen Cove. An 1873 Beers atlas plate of Glen Cove shows little construction in the Highland Road area. In fact, Highland Road is shown merely as a short (500 foot long) lane serving as a secondary access road to the farm of S. M. Titus (which was located near modern-day North Lane than to Highland Road). An 1886 Beers atlas plate of the same area shows no additional development.

Nassau Country Club was formed in 1895 as the Queens Country Club. Its first golf course, catering to residents of Long Island's Gold Coast, was laid out on land located between Crescent Beach Road and Red Spring Lane; this property would eventually be incorporated into North Country Colony and Red Spring Colony. While the course served well in the short haul, it was clear to the members that more land and better amenities were required. To this end, they purchased 115 acres of land north of Duck Pond Road. The club relocated to the new property, and constructed large club house, golf course, tennis courts, and even a skeet

range. At about the same time as the new facility was going on line, Nassau County seceded from Queens County (1898). The club was appropriately renamed "Nassau Country Club".

By 1910, its membership included such Glen Cove millionaires as J. P. Morgan, F. W. Woolworth, Charles M. Pratt, George DuPont Pratt, John Teale Pratt, Herbert Lee Pratt, Harold Irving Pratt, Horatio Adams, Clifford Brokaw, James C. Ayers, Paul Dana, Henry Clay Folger, Parker Douglas Handy, William L. Harkness, Edward L. Young, Howard Whitney, and J. Rogers Maxwell. The list of member millionaires from surrounding communities and New York City is equally impressive, reading like a "who's who" of the Gold Coast..

The relocation of Nassau Country Club to the Duck Pond Road area also had an impact on the local transportation infrastructure. The Long Island Railroad had established a branch line to Glen Cove in 1867; the station (and effective end of the line) was located on Glen Street. In the 1880's, the line was extended to Locust Valley. The path of the extension skirted the western bounds of what would, a decade later, be the property of the Nassau Country Club. While many of the non-local Nassau Country Club members used the railroad to travel to their golf outings, the trek from the station to the club house was long and covered some rather steep terrain. Since the club membership included many of the most economically and socially influential people in the region, it was an easy decision for the Long Island Railroad to construct a new station at the intersection of Duck Pond Road and Town Path. This new station, constructed 1898, was originally named "Nassau Station" (although now known as "Glen Cove Station") in honor of the country club.¹

The construction of Nassau Station had one unanticipated result. The new station provided easy access to an area of "highlands" that were previously inconvenient for residential purposes. The location of Nassau Country Club in the vicinity added prestige. Soon, enough economic pressure was exerted upon the handful of landowners that they opted to sell their farms for development. The earliest of the streets to be laid out was Highland Road, which within a decade was already populated by an assortment of large, late Victorian style homes and small "manor houses".

¹Local apocrypha claims that J. P. Morgan had the station constructed to service his private rail car. In reality, the station was constructed more than a decade before Morgan moved to Glen Cove.

HISTORIC STRUCTURES INVENTORY

CITY OF GLEN COVE

NASSAU COUNTY, NEW YORK



70 SCHOOL ST. CARPENTER MEMORIAL METHODIST CHURCH

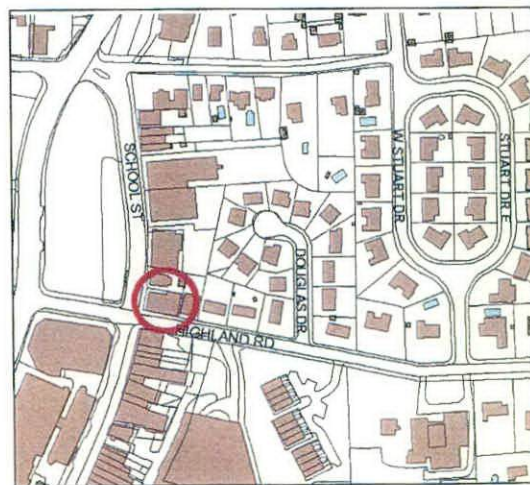
Sec: 23 Blk: 53 Lot: 25

Date Of Construction: 1860 - 1926



The Methodist church in Glen Cove was established in 1785, making it the second oldest organized religion in Glen Cove. After meeting in private homes and the local public school for more than fifty years, the first formal church edifice (a 30 by 40 foot frame building) was constructed in 1844. The church was enlarged in 1861 and a steeple added. The cornerstone for the present stone church was laid on 5 September 1909 and dedicated on 12 June 1910. The building incorporates a large portion of the earlier frame structure, sheathed in stone on the elevation facing Highland Road, as part of its eastern side. The architectural style of the building is a radical departure from the traditional Methodist church, lacking the tall spire which defines other Methodist churches throughout New England.

The condition of the structure is excellent. The architectural integrity of the building is excellent.



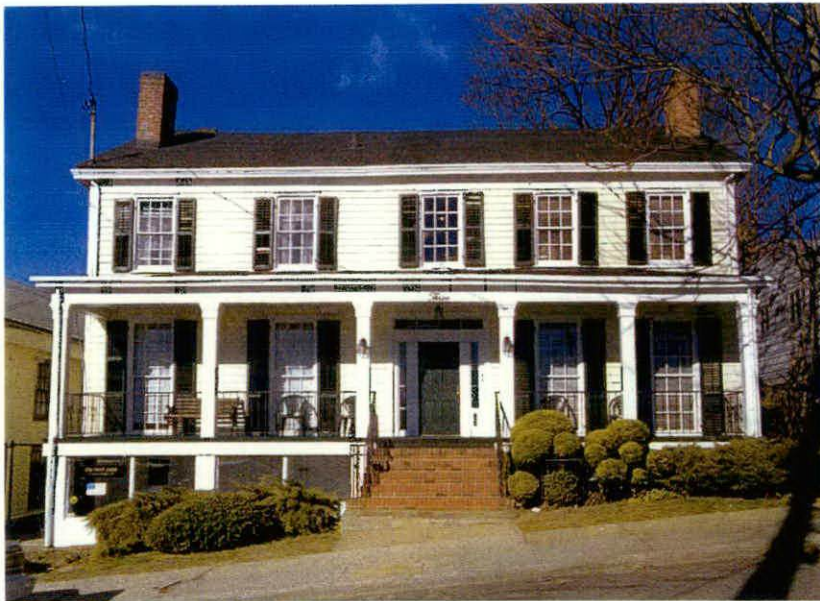
HISTORIC STRUCTURES INVENTORY
CITY OF GLEN COVE
NASSAU COUNTY, NEW YORK



3 HIGHLAND RD.
R. M. Bowne House

Sec: 23 Blk: 53 Lot: 24

Date Of Construction: ca. 1830

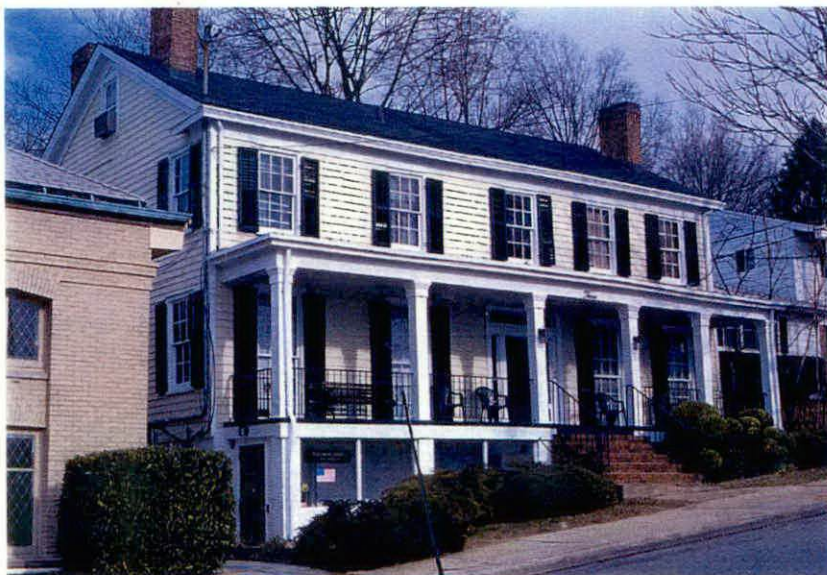


This late Federal era house was constructed by R. M. Bowne circa 1830, and is one of the oldest structures in downtown Glen Cove. It retains its clapboard siding, and has a modern asphalt shingle roof. The porch is an early 20th century addition, and a small one story addition was made in the rear of the building prior to 1938. The building was originally located on School Street, and was moved to its present site on Highland Road in the 1930's. It served as home to the Glen Cove Neighborhood Association as well as the Glen Cove Chamber of Commerce. It is presently used for commercial purposes.

R. M. Bowne was a prominent Glen Cove merchant in the first half of the 19th Century, operating one of the most successful drygoods stores in the community.

A one story addition was made to the rear of this structure prior to 1938.

The condition of the structure is excellent. The architectural integrity of the building is excellent. The original floorplan of the house appears to have been preserved.



HISTORIC STRUCTURES INVENTORY

CITY OF GLEN COVE

NASSAU COUNTY, NEW YORK



5 DOUGLAS DRIVE

Sec: 23 Blk: 53 Lot: 19

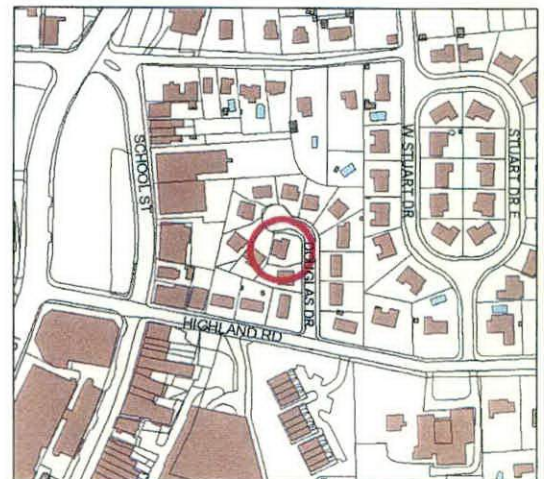
Date Of Construction: ca. 1890

The structure is a two-story frame dwelling with wood shingle exterior walls. Its gable roof was slate as late as 1938, and which has now been replaced by asphalt shingles. It has two chimneys, which served four fireplaces.

In 1938, the house was the residence of Helen Bowne. It was originally situated upon a larger parcel of land, which was subdivided circa 1965 to allow for the construction of new homes that comprise today's Douglas Drive. Access to the dwelling was originally from Highland Road.

Associated outbuildings in 1938 included a one story frame garage of unknown age, and a tool shed constructed circa 1936. With the loss of adjacent property during the 1960's site development, the garage was moved into the basement of this structure in 1966.

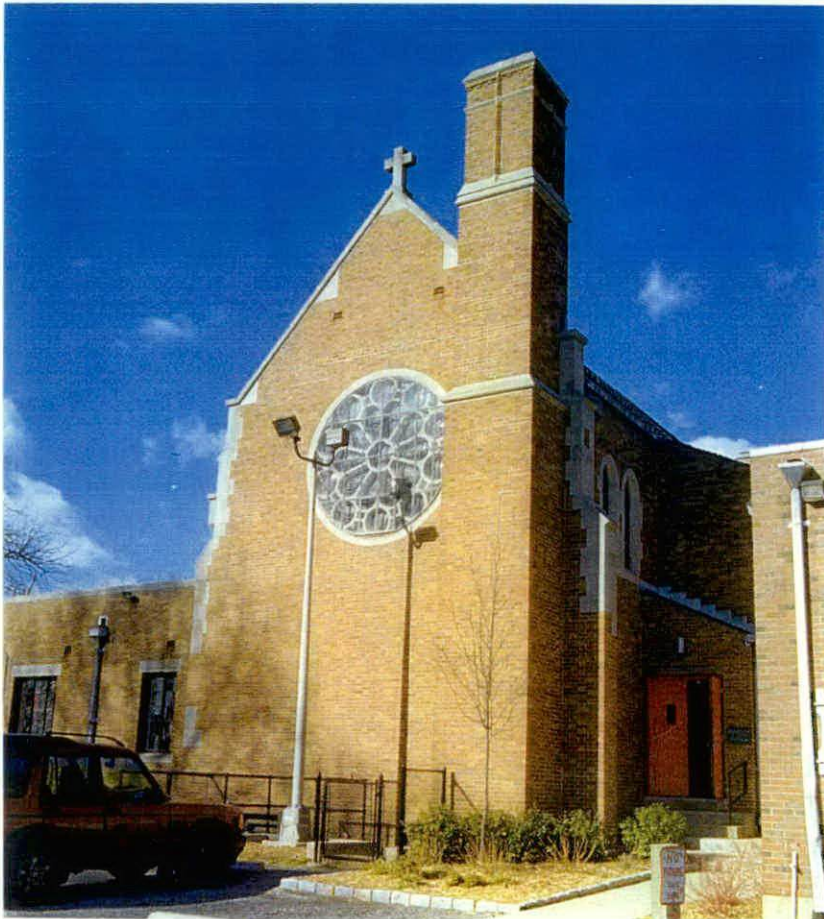
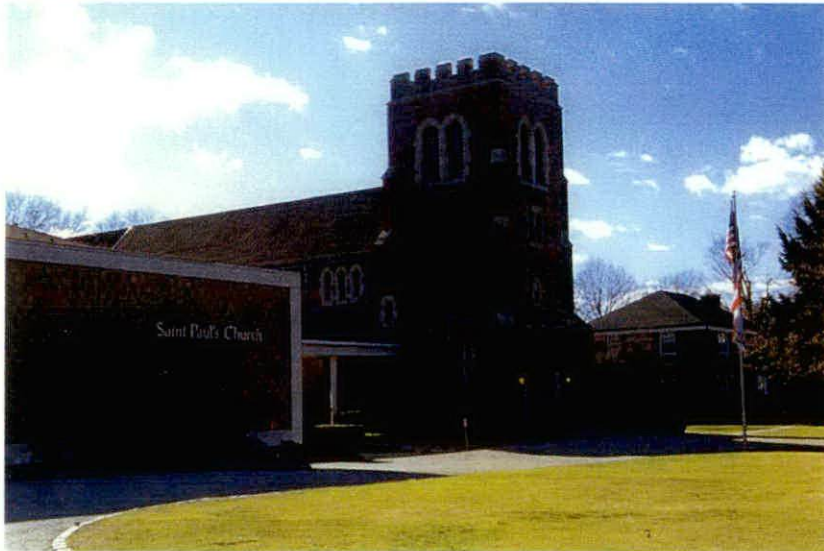
This late Victorian residence is exemplary of the architecture of the Highland Road district. The physical condition of the structure is excellent. The architectural integrity is excellent.



HISTORIC STRUCTURES INVENTORY

CITY OF GLEN COVE

NASSAU COUNTY, NEW YORK



HIGHLAND RD.

St. Paul's Episcopal Church

Sec: 23 Blk: Lot:

Date Of Construction: 1939

The Episcopal church in Glen Cove was established in 1820. In 1833, congregation members met to establish a building fund, and in 1834 they constructed their first church edifice (dedicated on 3 May 1834). This structure stood on the south-east corner of the present church burial grounds overlooking Glen Street. In 1858 the church was significantly enlarged to meet the needs of the growing congregation. In 1859, the church acquired adjacent properties, and constructed a rectory on the site. The building was rebuilt in 1885, and in 1898 was again expanded. (A detailed description of the 1898 church is attached.)

In 1938, the edifice was declared unsafe, and was closed. The cornerstone of the present church was laid in 1939. Associated historic features include a rectory, the church burial grounds (q.v.), in which several persons of national importance are buried; and the Civil War era Guild Hall (q.v.)



HISTORIC STRUCTURES INVENTORY

CITY OF GLEN COVE

NASSAU COUNTY, NEW YORK



HIGHLAND RD.

St. Paul's Episcopal Church Burial Ground

Sec: 23 Blk: Lot:

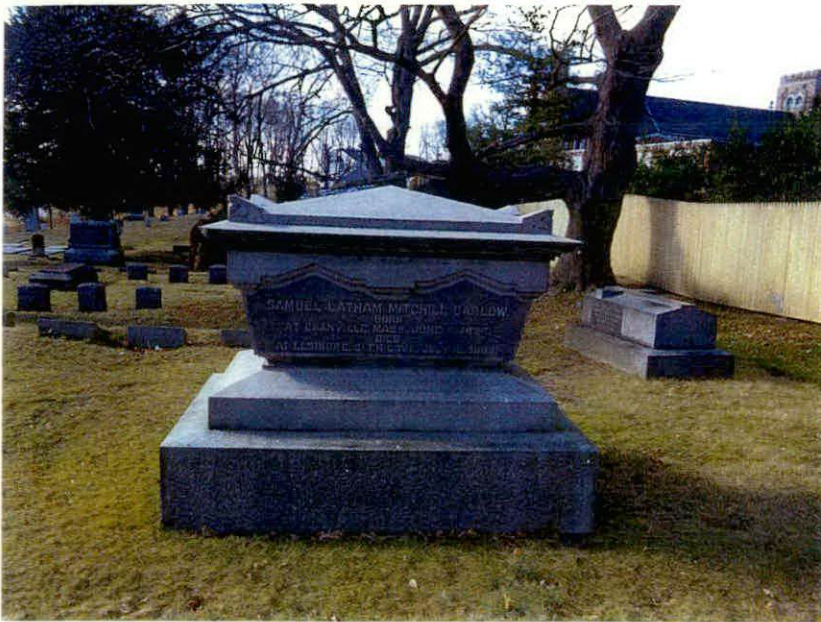
Date Of Construction: ca. 17??

The burial ground in the rear of St. Paul's Church is noteworthy as the single church-sited cemetery located within the City of Glen Cove.

Prior to the acquisition of this property by St. Paul's Episcopal Church circa 1833, the lands were farms of two local families. In keeping with local tradition, both families established family burial plots on their respective properties. The poor level of documentation of the family burials prior to incorporation into the church burial grounds makes establishing a terminus ante quem of these cemeteries extremely difficult, but evidence points to their establishment no later than the 1790's.

St. Paul's Church expanded the cemetery, with interments made on the east, west and south sides of the 19th Century church structure (located closer to modern-day Glen Street). In fact, the basic footprint of





the 19th Century structure can still be seen as a void area in the central portion of the burial ground.

Throughout the 19th century, many prominent Glen Cove residents were members of St. Paul's, and were buried in the burial ground. Of national importance are Charles Anderson Dana, editor and publisher and Samuel Latham Mitchill Barlow, attorney at law. Local luminaries include E. M. Lincoln, editor of the *Glen Cove Gazette* for three decades, and several members of the Duryea family, founders of the Duryea Starch Company.



HISTORIC STRUCTURES INVENTORY
CITY OF GLEN COVE
NASSAU COUNTY, NEW YORK

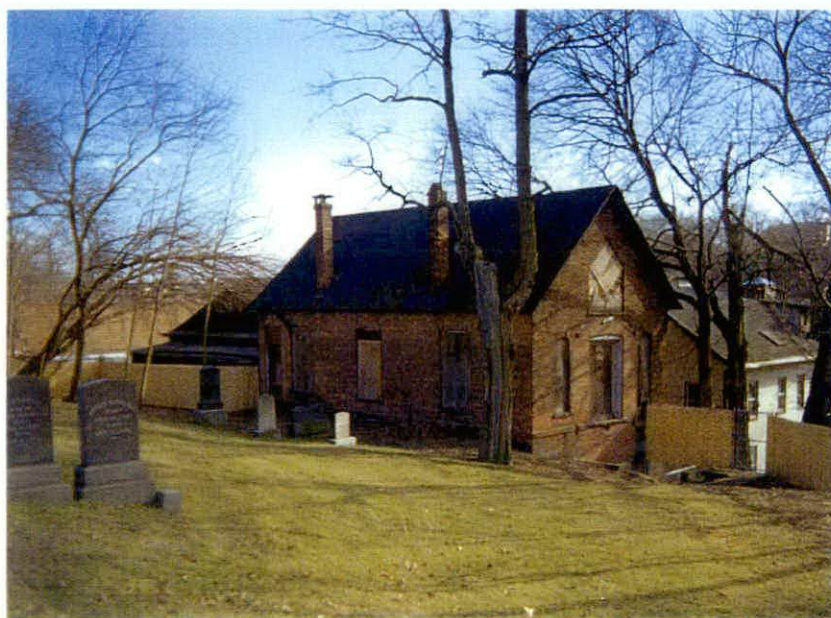


HIGHLAND RD.

**St. Paul's Episcopal Church
Guild Hall**

Sec: 23 Blk: Lot:

Date Of Construction: 1859



The "Guild Hall" at St. Paul's Church was constructed in 1859. Among its several uses was as a lecture hall and education center, not only for members of the congregation but for the community as a whole. Lectures on a wide variety of topics, ranging from social issues to current events, were offered to the public, and formal public debates on the issues of the day were held there. The edifice also served as home for classes in home economics.



HISTORIC STRUCTURES INVENTORY

CITY OF GLEN COVE

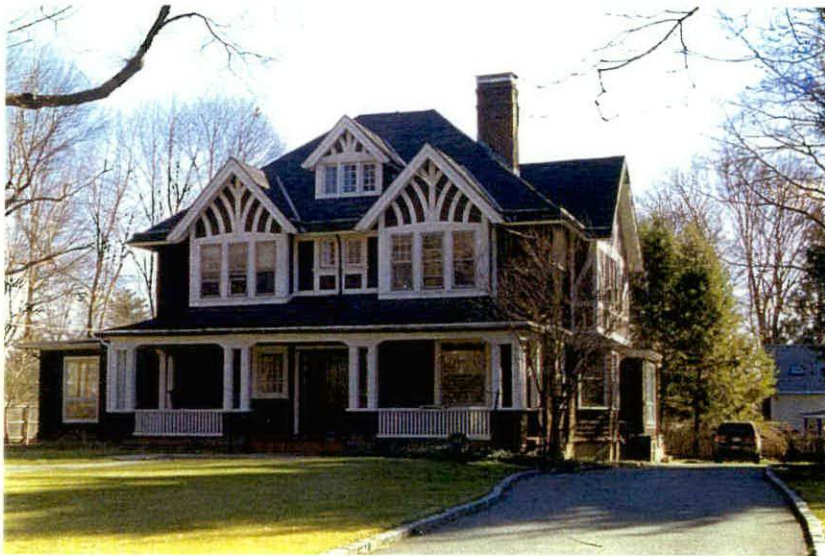
NASSAU COUNTY, NEW YORK



44 HIGHLAND RD.

Sec: 23 Blk: E Lot: 393

Date Of Construction: 1898



This late Victorian home is exemplary of the architecture of the Highland Road district.

The structure is a two story frame dwelling with wood shingled exterior walls. The foundation is brick. The hip roof was, in 1938, wood shingled (an earlier slate roof cannot be ruled out), but has subsequently been replaced with asphalt shingles. The single chimney served two fireplaces. A small addition was made to the house in 1964, in the form of a sun room attached to the eastern side of the building.

In 1938, the building was the home of Beatrice W. Bowne. During the era 1960-1980, the building was the home of Dr. Robert Goodman, a prominent Glen Cove physician.

Associated outbuildings present in 1938 were a one and a half story frame barn, and a one story frame coop, both of unknown age. Neither is extant. A small cottage which was later subdivided from this parcel is now 48 Highland Road.

The physical condition of the structure is excellent. The architectural integrity of the building is excellent.



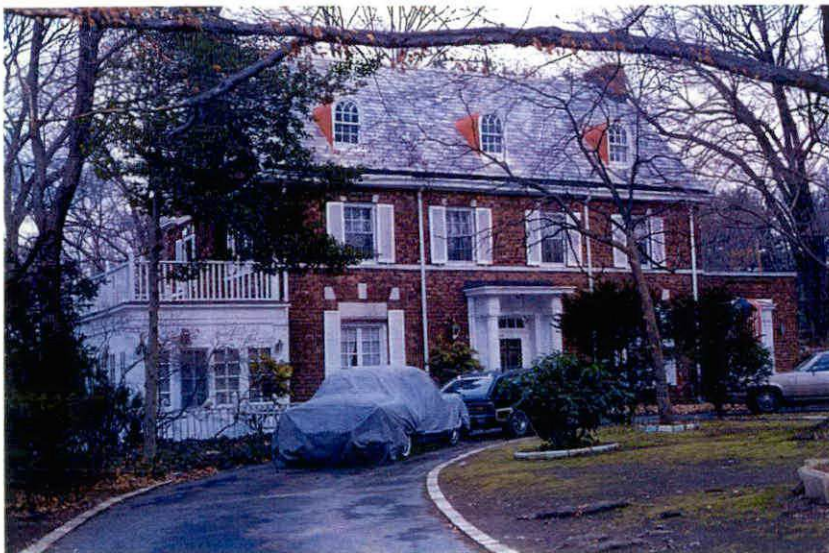
HISTORIC STRUCTURES INVENTORY
CITY OF GLEN COVE
NASSAU COUNTY, NEW YORK



47 HIGHLAND RD.

Sec: 23 Blk: 051 Lot: 019

Date Of Construction: 1920



This handsome brick building is typical of the 1920's-era homes constructed on Highland Road. The exterior walls, excepting the sun room on the west side of the building, are brick; the latter is clapboard. The gable roof is slate and has three symmetrically placed dormers overlooking the road. Two chimneys served three fireplaces. The foundation is concrete. The dwelling appears to have not been significantly altered from its original form.

In 1938, this building was the home of Dr. Edwin C. Braynard, a prominent Glen Cove physician and father of mara-time historian Frank O. Braynard. Allied with the building was a two car frame garage of the same age as the house.

The physical condition of the structure is excellent. The architectural integrity of the structure is good.



HISTORIC STRUCTURES INVENTORY

CITY OF GLEN COVE

NASSAU COUNTY, NEW YORK



48 HIGHLAND RD.

Sec: 23 Blk: E Lot: 378

Date Of Construction: ca. 1900



This late Victorian building was originally a small cottage associated with 44 Highland Road, although whether it served as servants' quarters, a guest house, or housing for a family member is unknown.

Originally a one and a half story frame building with wood shingled exterior, the cottage has been significantly enlarged and altered since 1938. The gable roof is asphalt shingled, and was so since 1938. The single chimney served one fireplace. In 1991, the attached one story garage was altered by the addition of a second floor (M. Marchand, architect); the overall impression of this expansion is to dominate the remainder of the cottage. In 2000, a small one-story addition was made to the rear of the structure (Anthony Falotico, architect).

The cottage was owned by Beatrice W. Bowne (owner of the main house at 44 Highland Rd) in 1938. Associated outbuildings that existed on the site in 1938 included two one-story frame barns.

The physical condition of the structure is excellent. The architectural integrity of the structure is questionable.



HISTORIC STRUCTURES INVENTORY
CITY OF GLEN COVE
NASSAU COUNTY, NEW YORK



51 HIGHLAND RD.

Sec: 23 Blk: 51 Lot: 37

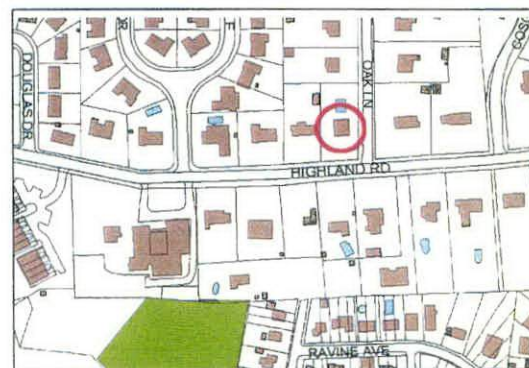
Date Of Construction: ca. 1900



This dwelling is another late Victorian structure, and is typical both of Victorian homes in Glen Cove and in this district in particular. The building is a two story frame dwelling with wood shingles. The gable roof was asphalt shingled in 1938; an earlier slate roof cannot be ruled out. The single chimney served one fireplace.

In 1938, it was the home of Frank C. and Elizabeth Edmonds. Associated outbuildings included a frame garage. There appears to have been no significant alterations to the dwelling.

The physical condition of this building is excellent. The architectural integrity of the structure is excellent.



HISTORIC STRUCTURES INVENTORY

CITY OF GLEN COVE

NASSAU COUNTY, NEW YORK



54 HIGHLAND RD.

Sec 23 Blk E Lot 495

Date of Constrction: ca. 1890

One of the finest examples of Victorian architecture in the Highland Road corridor, this structure was heavily damaged by fire in 2001. It is presently undergoing reconstruction.

The dwelling is a two story frame structure. The gable roof is asphalt shingled, although an earlier slate roof cannot be ruled out. The exterior was and still is covered by wood shingles. It was owned by Charles Werther in the 1940's. In 1985, a minor addition was made to extend the kitchen, and a detached two car garage added to the parcel.

The physical condition, before the fire, was excellent. The architectural integrity of the structure was excellent. The reconstruction work being performed on the second floor an attic levels appears to be in keeping with the original context of the structure.



HISTORIC STRUCTURES INVENTORY
CITY OF GLEN COVE
NASSAU COUNTY, NEW YORK



62 HIGHLAND RD.

Sec: 23 Blk: E Lot: 556

Date of Construction ca. 1900

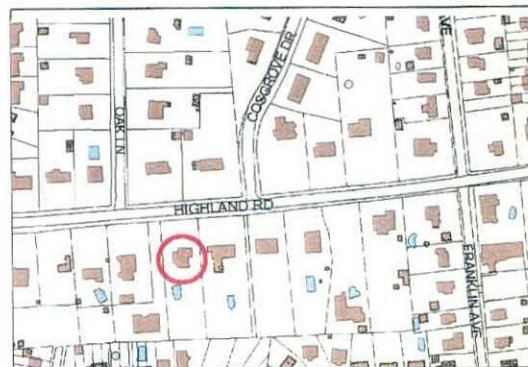


This two story frame dwelling had, in 1938, a first story clad in clapboard and a second story clad in wood shingles (which continues today). The gambrel roof was asphalt shingled in 1938; the building retains the same type of roof today. The foundation is brick. The two chimneys served two fireplaces.

In 1919 and 1926 this structure was the residence of Dr. William H. Zabriskie, a prominent local physician who attended medical emergencies for many of the local millionaires. After the attempted assassination of J. P. Morgan in 1915, Dr. Zabriskie was attending physician. He also was attending physician for F. W. Woolworth during his final illness. In 1938, the structure was the residence of Mary M. Zabrieski, his widow.

In 1986, a one story kitchen addition was made to the rear of the house, and a deck added.

The physical condition of the building is excellent, as is the architectural integrity.



HISTORIC STRUCTURES INVENTORY
CITY OF GLEN COVE
NASSAU COUNTY, NEW YORK



63 HIGHLAND RD.

Sec: 23 Blk: 8 Lot: 9

Date of Construction: 1926



This structure is extremely exemplary of the post-Victorian dwelling in the Highland Road corridor. A two story stucco building, the foundation is concrete. The gable roof is slate. Two chimneys served three fireplaces.

This structure was owned by Herbert L. Underhill in 1938.

In 1938, the property included a one story two car stucco garage.

The physical condition of this structure is excellent. The architectural integrity of this structure is excellent.



HISTORIC STRUCTURES INVENTORY
CITY OF GLEN COVE
NASSAU COUNTY, NEW YORK



66 HIGHLAND RD.

Sec: 23 Blk: 3 Lot: 160

Date of construction: 1933



This brick dwelling is one of the more picturesque buildings in the Highland Road corridor. Its exterior is brick, in a neo-Georgian style. The foundation is concrete. The hip roof was, in 1938, described as being composed of tile shingles; it appears to be asphalt shingles today. The two chimneys served two fireplaces, and records indicate that a fifth "artificial" fireplace existed. In the rear of the house was an attached three car garage with servants' quarters.

In 1938, the property was owned by Warren T. and Ann Whitmore Titus.

The physical condition of this structure is excellent. The architectural integrity of this structure is excellent.



HISTORIC STRUCTURES INVENTORY

CITY OF GLEN COVE

NASSAU COUNTY, NEW YORK



THE CITY OF GLEN COVE

75 HIGHLAND RD.

Sec: 23 Blk: 8 Lot: 48

Date of Construction: 1927

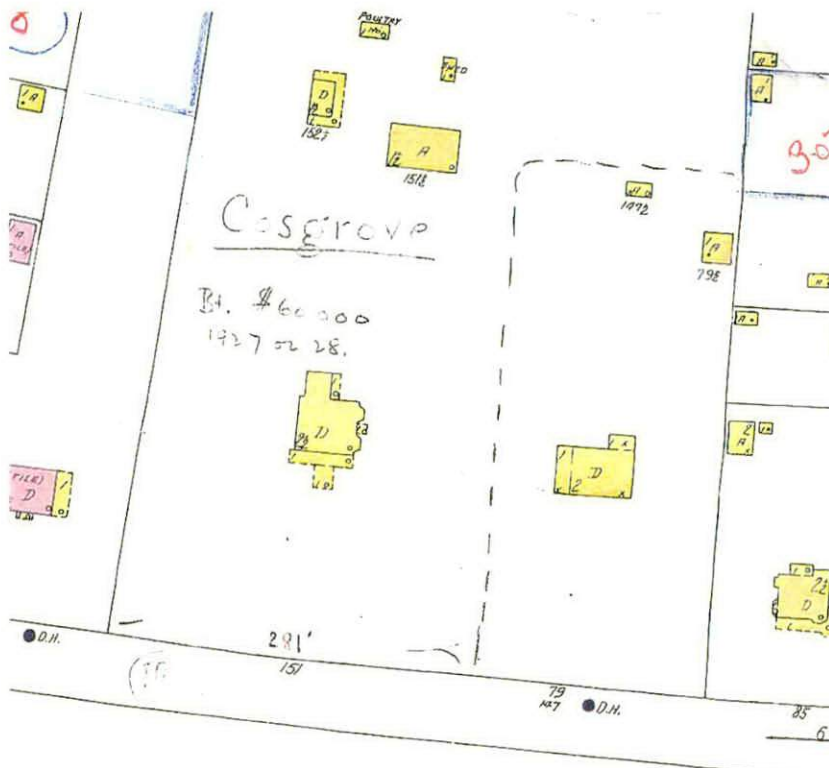


City records describe this two story frame building's facade in 1938 as being partly clapboard and partly "flush boarding". Today, it appears to be clapboard. The foundation is concrete. The hip roof is slate. A single chimney served one or more fireplaces. No significant alteration has been done to the building.

In 1931 and 1938, the house was the home of J. D. Cosgrove. Prior to 1926, the parcel was part of the estate of Charles P. Valentine.

This four acre parcel of land, in 1931, extended from Highland Road to Dosoris Way. There were numerous outbuildings associated with this structure. These included a large one story frame barn with loft, a smaller one story frame barn, and a one and a half story frame cottage.

The physical condition of this structure is excellent. The architectural integrity of this structure is excellent.



HISTORIC STRUCTURES INVENTORY
CITY OF GLEN COVE
NASSAU COUNTY, NEW YORK



76 HIGHLAND RD.

Sec: 23 Blk: E Lot: 473

Date of Construction: 1907



This late-Victorian frame dwelling presently appears to have a clapboard exterior, although it in 1938 it had a wood shingle exterior. The foundation is concrete block. The gable roof was originally wood shingled; today it is asphalt shingles. The single chimney served one fireplace.

In 1919, 1926 and 1938, the structure was the home of R. Frank Bowne. It was later owned by John A. and Marie Stobbe. There is no indication of significant alterations to the building.

Associated outbuildings in 1938 included a small wood frame coop and shed. In 1948, a wood frame three car garage was added to the parcel, with attached servants' quarters.

The physical condition of this structure is excellent. The architectural integrity of this structure is excellent.



HISTORIC STRUCTURES INVENTORY

CITY OF GLEN COVE

NASSAU COUNTY, NEW YORK



84 HIGHLAND RD.

Sec: 23 Blk: E Lot: 169

Date Of Construction: ca. 1896



This dwelling is a fine example of late Victorian architecture. The two story wood frame structure has a clapboard exterior. The foundation is brick. The gable roof had, in 1938, asphalt shingles. While the house has a single chimney, the City of Glen Cove records indicate no fireplaces other than one "artificial fireplace" in 1938.

In the 1940's, the dwelling was the home of F. George and Marie M. Coker.

A one story addition was made on the north-east corner of the house in 1969. It conforms aesthetically to the rest of the dwelling.

Associated structures in 1938 included a one story, two car wood frame garage, and a one story wood frame barn.

The physical condition of this structure is excellent. The architectural integrity of this structure is excellent.



HISTORIC STRUCTURES INVENTORY
CITY OF GLEN COVE
NASSAU COUNTY, NEW YORK



85 HIGHLAND RD.

Sec: 23 Blk: 8 Lot: 16

Date Of Construction: 1911



This structure is a fine example of late Victorian architecture in the Highland Road corridor.

The foundation is brick. The hip roof originally had slate shingles; these have been replaced with asphalt shingles. The single chimney serves one fireplace.

No associated outbuildings were noted in the 1938 survey of the property. No additions or major alterations are known.

This building was the home of Alex H. Johnston in 1938.

The physical condition of this structure is excellent. The architectural integrity of this structure is excellent.



HISTORIC STRUCTURES INVENTORY

CITY OF GLEN COVE

NASSAU COUNTY, NEW YORK



88 HIGHLAND RD.

Sec: 23 Blk: E Lot: 501

Date of Construction: 1900



This two story frame dwelling is exemplary of the late Victorian homes built throughout the Highland Road corridor. The exterior of the building is clapboard. The foundation is brick. The gable roof was asphalt shingled as early as 1938. The single chimney served one fireplace.

The building was the home of Charles H. Danis in 1919; he was a local realtor. By 1926, it was listed as part of the "Estate of C. H. Danis", and it is still listed as such in 1938. No associated outbuildings were noted in 1938. In 1985, two small solarium/greenhouses were added to the structure.

The physical condition of this structure is excellent. The architectural integrity of this structure is excellent.



HISTORIC STRUCTURES INVENTORY

CITY OF GLEN COVE

NASSAU COUNTY, NEW YORK



26 FRANKLIN AVE

Sec: 23 Blk: 9 Lot: 12

Date Of Construction: ca. 1900



This late-Victorian dwelling is exemplary of the homes built along the Highland Road corridor in the ca. 1900 era. The foundation is brick. Its exterior walls are sided in clapboard. The gable roof was originally slate, which was maintained until at least 1938 then was subsequently replaced with an asphalt shingle roof. The single chimney served a single fireplace.

In 1938, the building was owned by Herbert K. Dodge, owner of Dodge Funeral Home (one of the oldest funeral homes in New York State, founded in the 1830s) and a lineal descendant of the company's founder.

Associated outbuildings on this parcel in 1938 included a second two-story frame dwelling (the structure now used as the Dodge-Thomas Funeral Home on Franklin Avenue) and a one story frame "storehouse" which had a dimension of five by forty-five feet.

The physical condition of the structure is excellent. The architectural integrity of the building is excellent.



HISTORIC STRUCTURES INVENTORY

CITY OF GLEN COVE

NASSAU COUNTY, NEW YORK



91 HIGHLAND RD.

Sec: 23 Blk: 6 Lot: 263

Date Of Construction: ca. 1910



This two story frame dwelling is quite modest compared to the other homes of similar age in the Highland Road corridor. The foundation is concrete. The exterior is sheathed in clapboard, and the gable roof was originally slate (it appears to be asphalt shingled today). There were no fireplaces in the home in 1938.

In 1938, the structure was the home of Henry A. Geidel.

Associated outbuildings in 1938 included a one story wood frame two car garage.

The physical condition of this structure is excellent. The architectural integrity of this structure is excellent.



HISTORIC STRUCTURES INVENTORY

CITY OF GLEN COVE

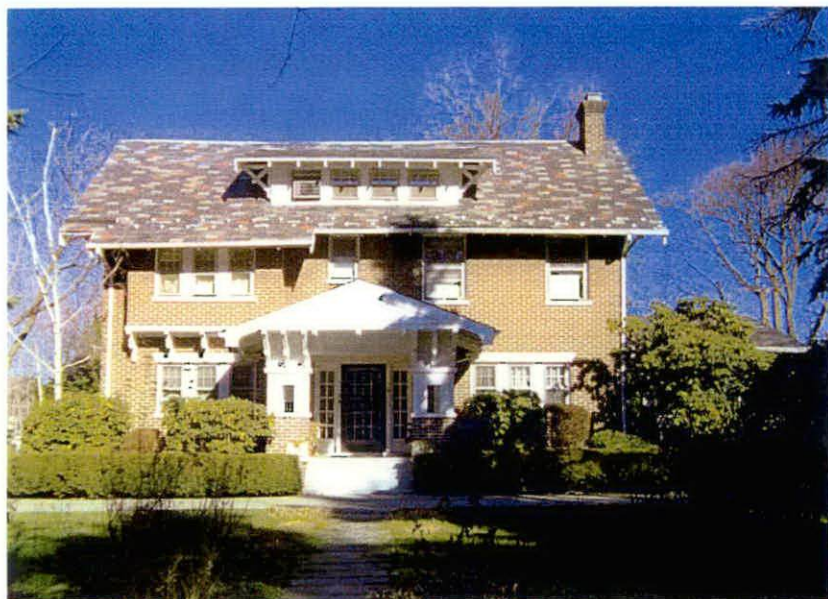
NASSAU COUNTY, NEW YORK



95 HIGHLAND RD.

Sec: 23 Blk: 6 Lot: 1

Date of Construction: 1913

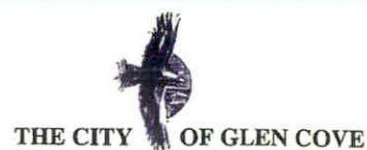


This two-story brick dwelling is a fine example of the post Victorian homes of the Highland Road corridor. The foundation is brick. The gable roof has slate shingles. The single chimney served one fireplace.

In 1984, a large one story addition was made to the rear of the structure to serve as a new dining room.



HISTORIC STRUCTURES INVENTORY
CITY OF GLEN COVE
NASSAU COUNTY, NEW YORK



98 HIGHLAND RD.

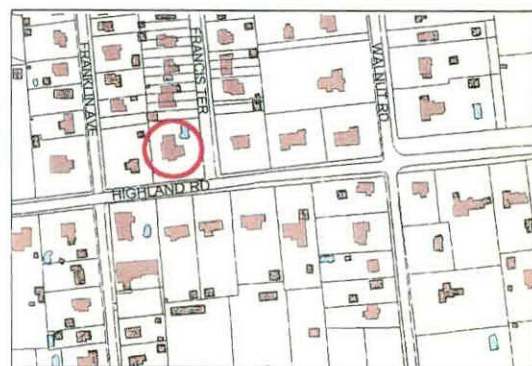
Sec: 23 Blk: 9 Lot: 16

Date Of Construction: 1915



This two-story, frame dwelling is highly exemplary of the post-Victorian homes on Highland Road. The exterior was, in 1938, clad in wood shingles; today the exterior is clapboard. The foundation is concrete. The gabled roof is slate. The single chimney served a single fireplace.

Associated outbuildings in 1938 included a one story wood frame garage of uncertain age, and a wood frame tool house. The physical condition of the structure is excellent. The architectural integrity of the structure is excellent.



HISTORIC STRUCTURES INVENTORY
CITY OF GLEN COVE
NASSAU COUNTY, NEW YORK



99 HIGHLAND RD.

Sec: 23 Blk: 7 Lot: 73

Date of Construction: 1924

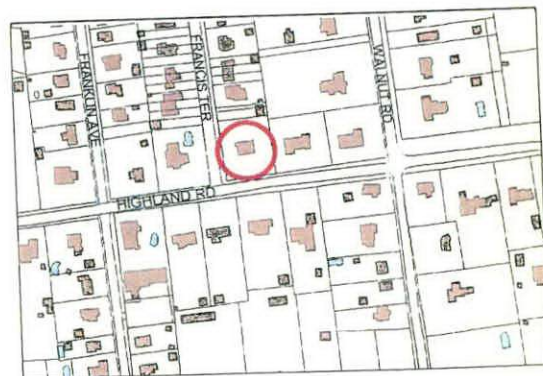


This structure is a well preserved example of mid-1920's architecture. The exterior is stucco. The foundation is concrete. The gable roof is slate. The single chimney serves one fireplace.

In 1938, the building was the residence of Ida B. Starks, widow of Nassau County engineer Frederick C. Starks. Starks was involved in the engineering of the early automobile roads in Nassau County. He was also was an amateur photographer of exceptional skill, and a collection of his glassplate negatives of Glen Cove still survives.

Associated structures in 1938 included a one story stucco garage, constructed in 1924.

The physical condition of the structure is excellent. The architectural integrity of the structure is excellent.



HISTORIC STRUCTURES INVENTORY
CITY OF GLEN COVE
NASSAU COUNTY, NEW YORK



102 HIGHLAND RD.

Sec: 23 Blk: 09 Lot: 11

Date Of Construction: 1912



This dwelling is extremely typical of the homes built along the Highland Road corridor during the era 1910 to 1930. It is a frame structure with clapboard sides (although it apparently had wood shingles in 1938) with an asphalt shingled gable roof (wood shingled in 1938) with three symmetrically placed dormers. It has a single chimney which served two fireplaces.

This dwelling was, in 1938, the residence of J. W. and A. E. Townsend. Associated outbuildings included a one story frame two car garage.

The physical condition of this structure is excellent. The architectural integrity of the structure is excellent.



HISTORIC STRUCTURES INVENTORY

CITY OF GLEN COVE

NASSAU COUNTY, NEW YORK



106 HIGHLAND RD.

106 Highland Rd 23 - 9 -27

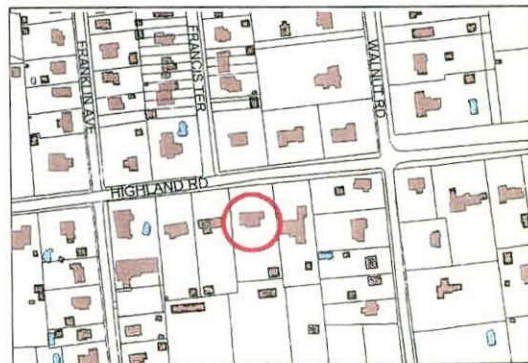
Date of Construction: 1927



This two story frame structure is extremely typical of the post-Victorian dwellings erected on Highland Road. In 1938, it's exterior was wood shingles; today, the exterior is clapboard sided. The basement is concrete. The gable roof has asphalt shingles. The single chimney served one fireplace.

In 1938, the dwelling was the residence of Robert H. Noble.

Associated buildings in 1938 included a one story frame two car garage. The physical condition of the structure is excellent. The architectural integrity of the structure is excellent.



HISTORIC STRUCTURES INVENTORY
CITY OF GLEN COVE
NASSAU COUNTY, NEW YORK



93 WALNUT RD.

Sec: 23 Blk: 23 Lot: 36

Date of Construction: 1919



This structure is one of the newest of the late-Victorian houses in the Highland Road corridor. The exterior was described, in 1938, as consisting of clapboard siding on the first floor and wood shingles on the second floor. The house appears to be homogeneously clapboard sided today. The foundation is concrete. The gable roof was covered with asbestos shingles as early as 1938, and appears to be composed of asphalt shingles today. The single chimney served a single fireplace.

In 1992, some minor alterations of the exterior of the structure were made, which included the addition of a sun porch on the south side of the building a porte-cochere on the north side.

The building was the home of Grace A. Powell in 1938. Associated outbuildings in 1938 included a one story frame two car garage.

The physical condition of the structure is excellent. The architectural integrity of the structure is excellent.



HISTORIC STRUCTURES INVENTORY

CITY OF GLEN COVE

NASSAU COUNTY, NEW YORK



99 WALNUT RD.

Sec: 23 Blk: 24 Lot: 1

Date of Construction: 1903



This late Victorian dwelling is a two-story, frame structure. The exterior is a mix of wood shingles and stucco. The foundation is brick. The gable roof was originally slate; it has subsequently been replaced with an asphalt shingled roof. A single chimney served two fireplaces.

In 1926, this dwelling was owned by Alice B. Bryan; in 1938, it is listed as owned by the Estate of Alice B. Bryan. It was later owned by the Dorothy M. Bryan, her daughter.

Associated outbuildings included a one-story frame one car garage, constructed in 1918; it which was stylistically similar to the house. This structure was severely deteriorated by 1990, and was replaced with similarly-styled garage in 1992.

The physical condition of this structure is excellent. The architectural integrity of this structure is excellent.



HISTORIC STRUCTURES INVENTORY

CITY OF GLEN COVE

NASSAU COUNTY, NEW YORK



100 WALNUT RD.

Sec: 23 Blk: 9 Lot: 17

Date of Construction 1913



This dwelling is exemplary of the architecture of the Highland Road corridor in the 1910 era. It is a two story frame structure. The foundation of this structure is brick. The exterior walls are clapboard. The gambrel roof was covered with asphalt shingles in 1938, and remains so today. The single chimney served one fireplace.

A two story addition on the south side of the house was made in 1998.

Associated structures in 1938 included a one story frame building denoted as a "Tool Shop".

The physical condition of the structure is excellent. The architectural integrity of the structure is excellent.



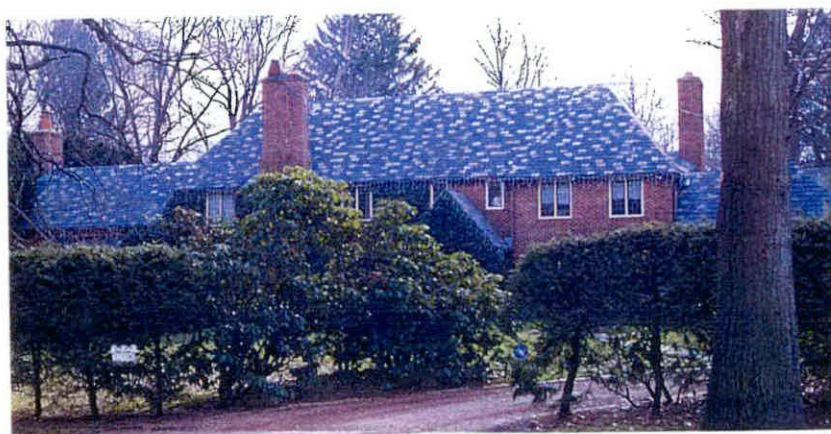
HISTORIC STRUCTURES INVENTORY
CITY OF GLEN COVE
NASSAU COUNTY, NEW YORK



118 HIGHLAND RD

Sec: 23 Blk: 24 Lot: 102

Date of Construction: 1929



This dwelling is a fine example of 1920's era architecture in the Highland Road corridor. The exterior is brick, with a concrete foundation. The gable roof retains its heavy slate shingles. Three chimneys serve three fireplaces. The leaded glass windows enhance the street facade of the dwelling.

The dwelling appears to have been little altered; a deck was added to the east side of the house in 1992. No record exists of any outbuildings associated with this structure.

In 1938, this building was the home of Arthur Traube.

The physical condition of this structure is excellent. The architectural integrity of this structure is excellent.



HISTORIC STRUCTURES INVENTORY

CITY OF GLEN COVE

NASSAU COUNTY, NEW YORK



1 ST. ANDREWS LN

Sec: 23 Blk: 23 Lot: 6

Date of Construction: 1905



This dwelling is a fine example of post-Victorian architecture in the Highland Road corridor. The structure is brick on a concrete foundation. In 1938, the gable roof of this structure was wood shingled; it is now asphalt shingled. Two chimneys served four fireplaces.

In 1919, 1926, and 1938 this building was the residence of William and Florence Bianca Frothingham.

Associated outbuildings in 1938 included a one-story metal one car garage. In 1992 a frame two story garage was constructed on the parcel, which is well matched to the architectural style of the house.

The physical condition of this building is excellent. The architectural integrity of this building is excellent.



HISTORIC STRUCTURES INVENTORY

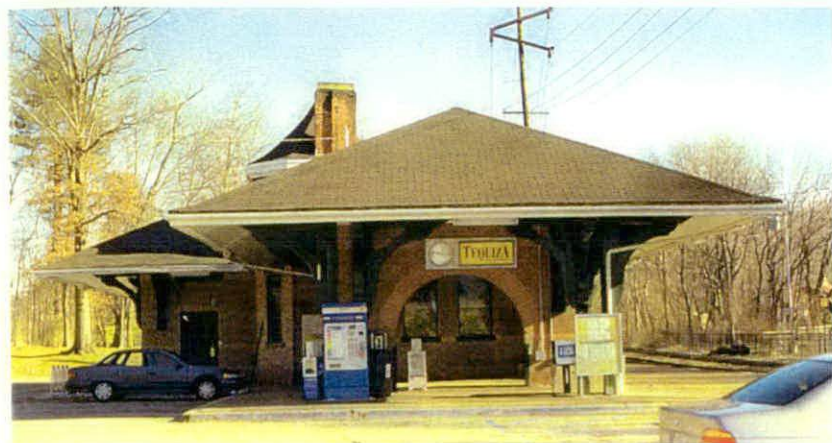
CITY OF GLEN COVE

NASSAU COUNTY, NEW YORK



HIGHLAND RD and ST. ANDREWS LN

Glen Cove Station, Long Island Rail Road



Plans to establish a railroad line connecting Glen Cove with New York City were first laid out in the early 1850's, but were shelved at the outbreak of the Civil War. In 1867 the line was finally constructed, with the first train station (and line end) being built at Glen Street.

In the final years of the 19th Century, the prestigious Nassau Country Club was relocated from the Crescent Beach/Red Spring area of Glen Cove to the sprawling colonial farm of the Townsend family north of Duck Pond Rd. This gave impetus to the creation of a new railroad station to serve this nationally renowned golf course. Originally called "Nassau Station" in recognition of the club it primarily served, the new train station also created the economic incentive for the re-development of hundreds of acres of farmland for upper-middle class and upper class homes.

Eventually renamed "Glen Cove Station", the structure has received indifferent treatment at the hands of the Long Island Rail Road. It has, however, survived essentially unchanged as to form. Associated outbuildings included a one story frame Express Office, which is no longer extant.

